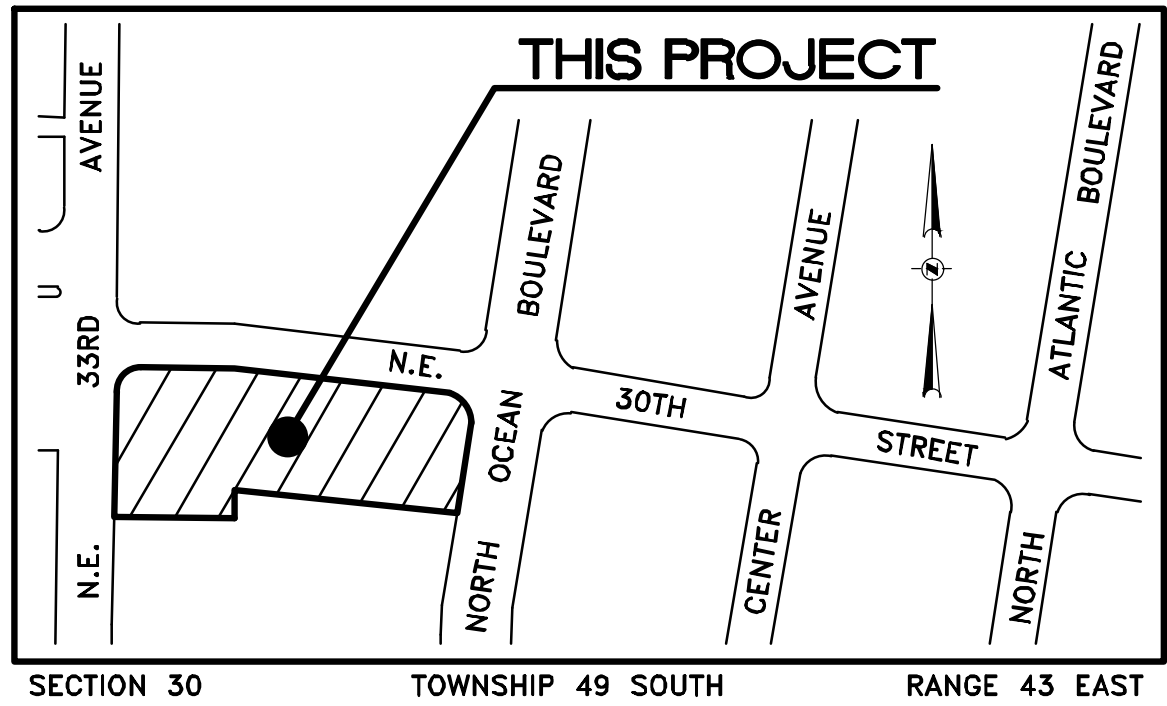


SITE PLAN DRAWINGS  
FOR  
FT. LAUDERDALE BEACH PUBLIX  
2985 NORTH OCEAN BOULEVARD  
FT. LAUDERDALE BEACH, FLORIDA 33308



LOCATION MAP  
N.T.S.

UTILITY COMPANIES

AT&T  
MR. TIM RICHARDS  
8601 W. SUNRISE BLVD.  
PLANTATION, FLORIDA 33322  
PHONE: (954) 476-2843

BROWARD COUNTY TRAFFIC DIVISION  
MR. JUAN C. NIETO  
2300 W. COMMERCIAL BLVD.  
FT. LAUDERDALE, FLORIDA 33309  
PHONE: (954) 847-2745

CITY OF FORT LAUDERDALE  
SEWER AND WATER DIVISION  
MS. ALISON CISNEROS  
100 N. ANDREWS AVENUE  
FT. LAUDERDALE, FLORIDA 33301

FLORIDA POWER & LIGHT COMPANY  
MS. KARINA RAMERAZ  
700 UNIVERSITY BLVD.  
JUNO BEACH, FLORIDA 33408  
PHONE: (954) 717-2081

TECO PEOPLES GAS  
MS. JOAN DOMING  
8416 PALM RIVER ROAD  
TAMPA, FLORIDA 33619  
PHONE : (813) 275-3783

INDEX OF DRAWINGS

SHT. NO.	TITLE
COVER	COVER
SP-1	SITE PLAN
PGD-1	PAVING-GRADING-DRAINAGE PLAN
PGD-2	SITE DETAILS
PHOTOS	COLOR PHOTOGRAPHS
L-1	LANDSCAPE PLAN
F-1	ELEVATIONS
F-2	ELEVATIONS

CONSULTANTS

DEVELOPER: BRANDON STRUCTURE  
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200 PASADENA PLACE  
ORLANDO, FLORIDA 32803  
PHONE: (407) 835-9000  
FAX: (407) 835-9955

ATTORNEY: GUNSTER  
MS. HEIDI DAVIS KNAPIK  
450 EAST LAS OLAS BLVD., SUITE 1400  
FT. LAUDERDALE, FLORIDA 33301  
PHONE: (954) 468-1391

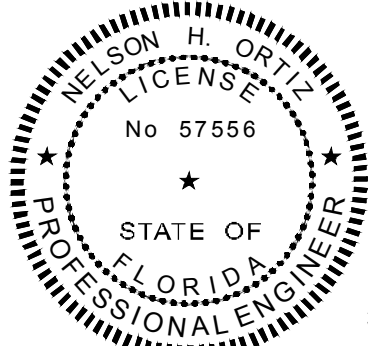
ARCHITECT: FISHER AND ASSOCIATES, LLC.  
MR. BRYAN FISHER  
2315 BELLEAIR ROAD  
CLEARWATER, FLORIDA 33764  
PHONE: (727) 443-4436  
FAX: (727) 531-6653

CIVIL ENGINEER: GRAEF  
9400 SOUTH DADELAND BLVD., SUITE 601  
MR. NELSON H. ORTIZ, P.E.  
MIAMI, FLORIDA 33156  
PHONE: (305) 378-5555  
FAX: (305) 279-4553

LANDSCAPE ARCHITECT: GRAEF  
9400 SOUTH DADELAND BLVD., SUITE 601  
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FAX: (305) 279-4553

SURVEYOR: McLAUGHLIN ENGINEERING CO.  
MR. SCOTT McLAUGHLIN, P.S.M.  
1700 N.W. 64th STREET, SUITE 400  
FT. LAUDERDALE, FLORIDA 33309  
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FAX: (954) 763-7615

PHOTOMETRICS: APOLLO ENGINEERING  
MR. HAROLD SCOTT, P.E.  
6544 U.S. HWY. 41 NORTH, SUITE 209B  
APOLLO BEACH, FLORIDA 33572  
PHONE: (813) 938-5803  
FAX: (813) 909-3835



FOR THE FIRM:  
NELSON H. ORTIZ  
PE-57556 (CIVIL)

THIS ITEM HAS BEEN  
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BY NELSON H. ORTIZ, P.E. ON  
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FT. LAUDERDALE BEACH, FLORIDA 33308

MR. RANDY J. HOLIHAN  
BRANDON STRUCTURES  
200 Pasadena Place  
Orlando, Florida 32803  
(407) 835-9000; Fax (407) 835-9955

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 20197040  
DATE: 07-10-19  
DRAWN BY: P.F.  
CHECKED BY: N.H.O.  
APPROVED BY: N.H.O.  
SCALE: AS SHOWN

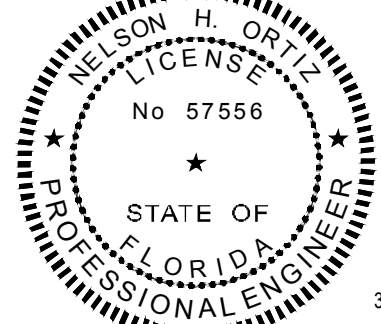
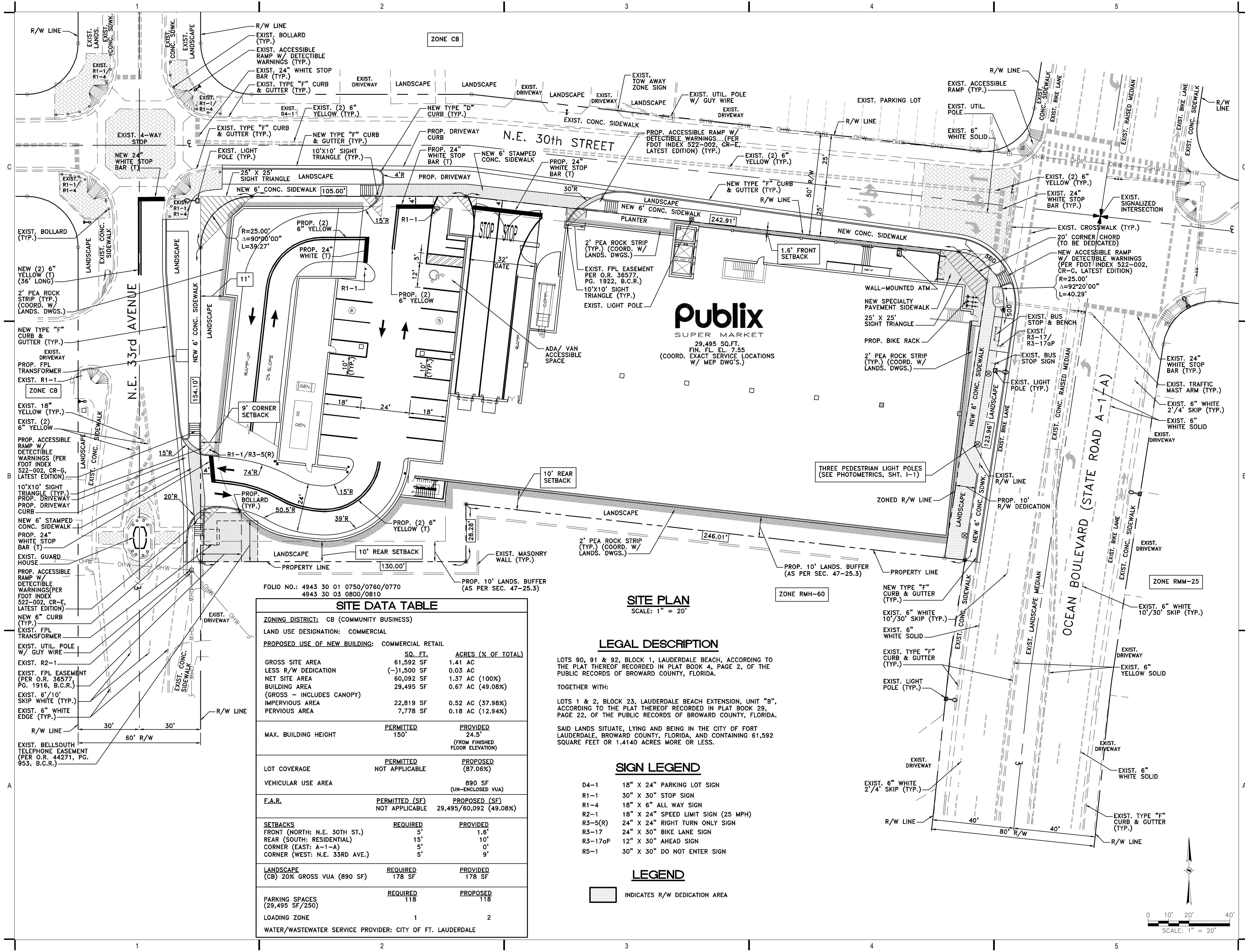
SHEET TITLE:

COVER SHEET, LOCATION MAP  
AND NOTES

SHEET NUMBER:

COVER

X:\MIA\2019\0197040\Design\Drawings\2\_SP-1  
3/4/2020 6:23 PM



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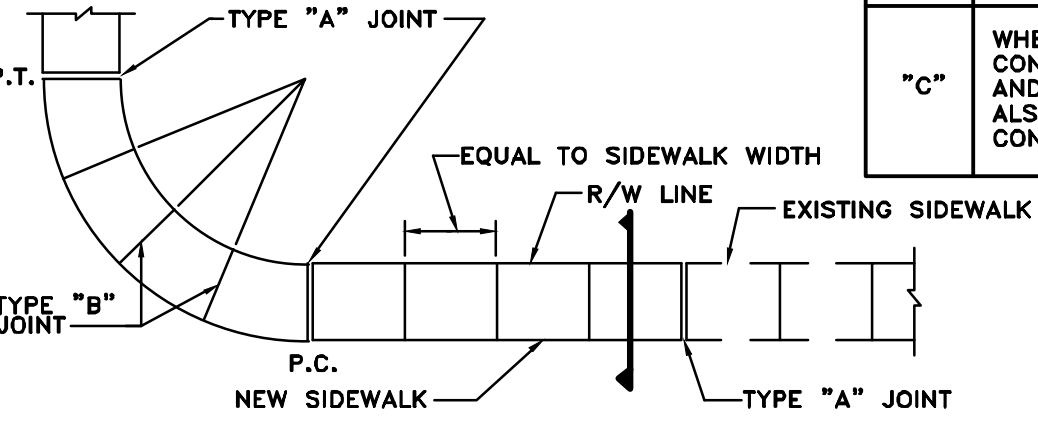
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SITE PLAN AND NOTES

**SHEET NUMBER:**

**SP-1**

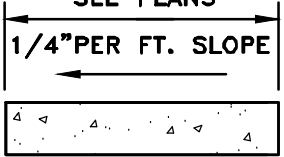


TABLE OF SIDEWALK THICKNESS "T"	
LOCATION	"T"
RESIDENTIAL AND INTERIOR AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

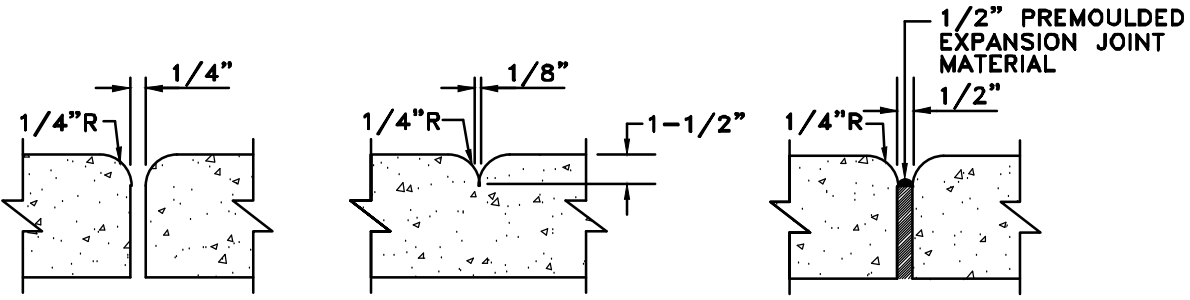


SIDEWALK PLAN

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	6'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES ALSO, EVERY 50 FEET OF CONTINUOUS SIDEWALK



SECTION



TYPE "A"

TYPE "B"

TYPE "C"

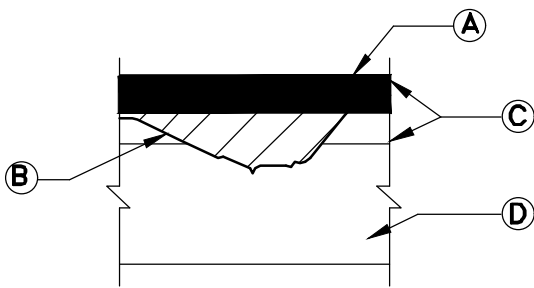
SIDEWALK JOINTS

## STANDARD SIDEWALK CONSTRUCTION

N.T.S.

### MILLING & RESURFACING PROCEDURE

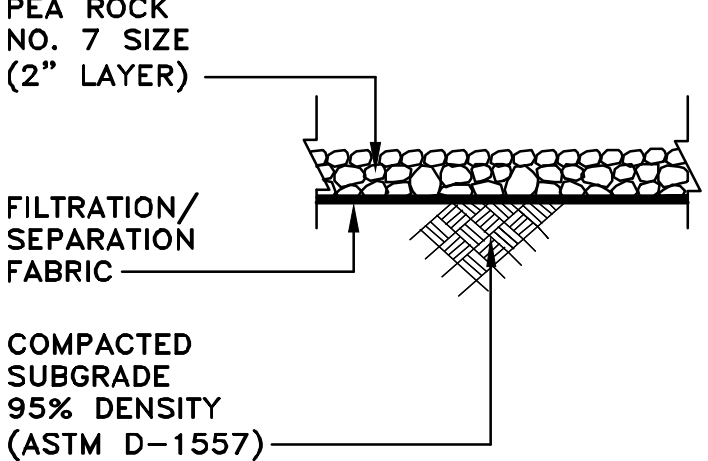
1. MILL, 1" THICKNESS
2. REPAIR (WHERE REQUIRED, SEE DETAIL)
3. RESURFACE, 1" THICKNESS



- A ASPHALTIC CONCRETE RESURFACE COURSE 1" THICK
- B CONTRACTOR SHALL CLEAN ALL DEPRESSIONS, POTHOLES AND OTHER IRREGULARITIES OF ALL LOOSE MATERIALS; TACK COAT THESE AREAS; AND, FILL WITH ASPHALTIC CONCRETE, COMPACTED IN 1" LIFTS TO GENERATE UNIFORM SURFACE
- C EXISTING ASPHALTIC CONCRETE
- D EXISTING BASE COURSE

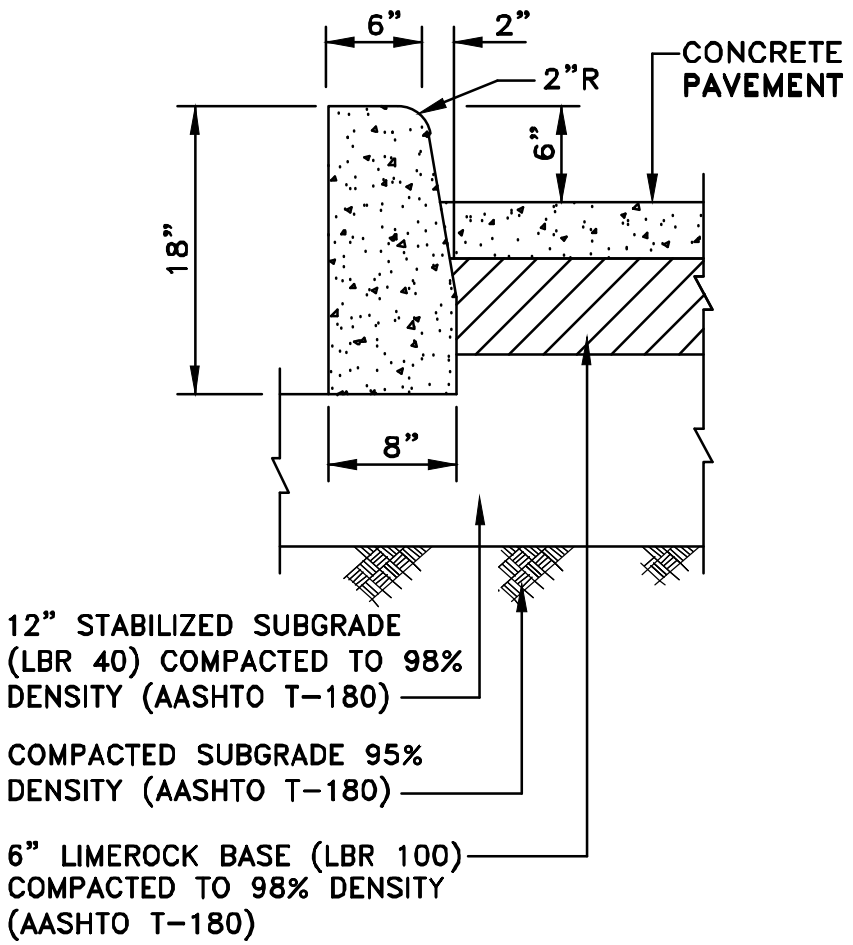
### MILL/RE-SURFACE DETAIL

N.T.S.



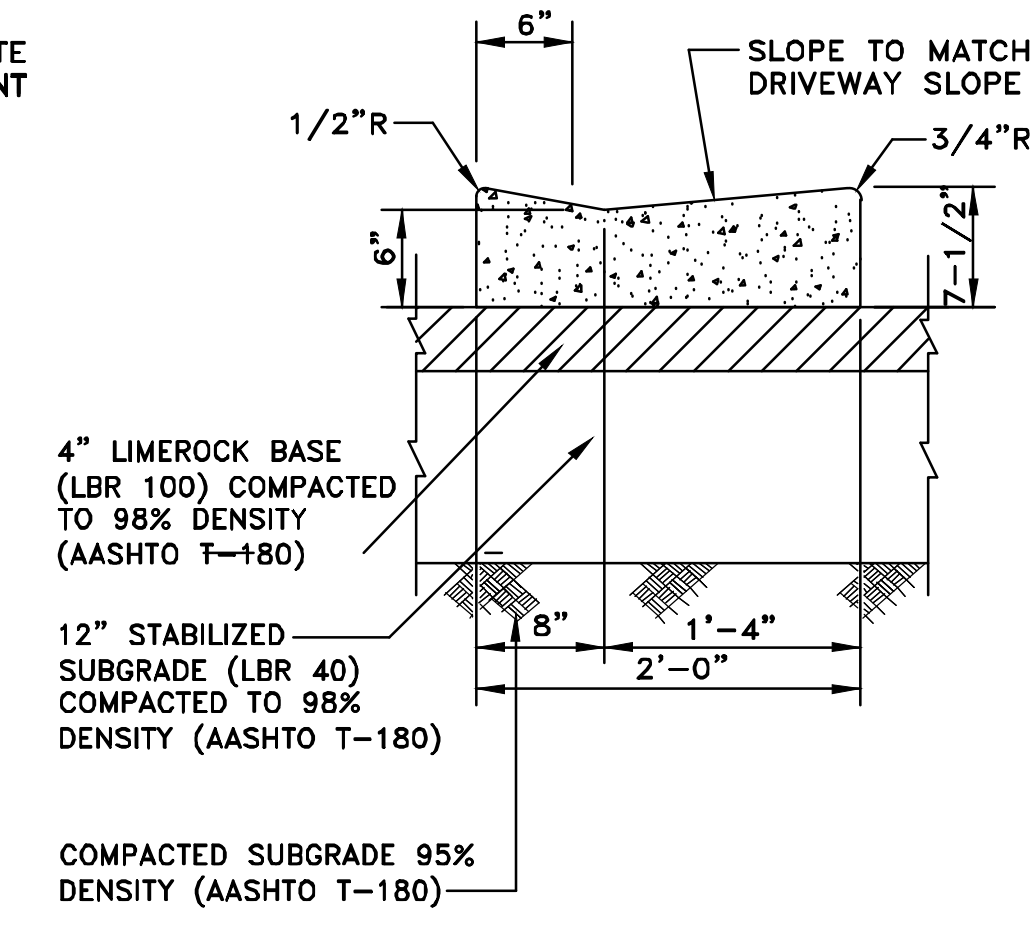
PEA ROCK DETAIL

SCALE: 1" = 1'-0"



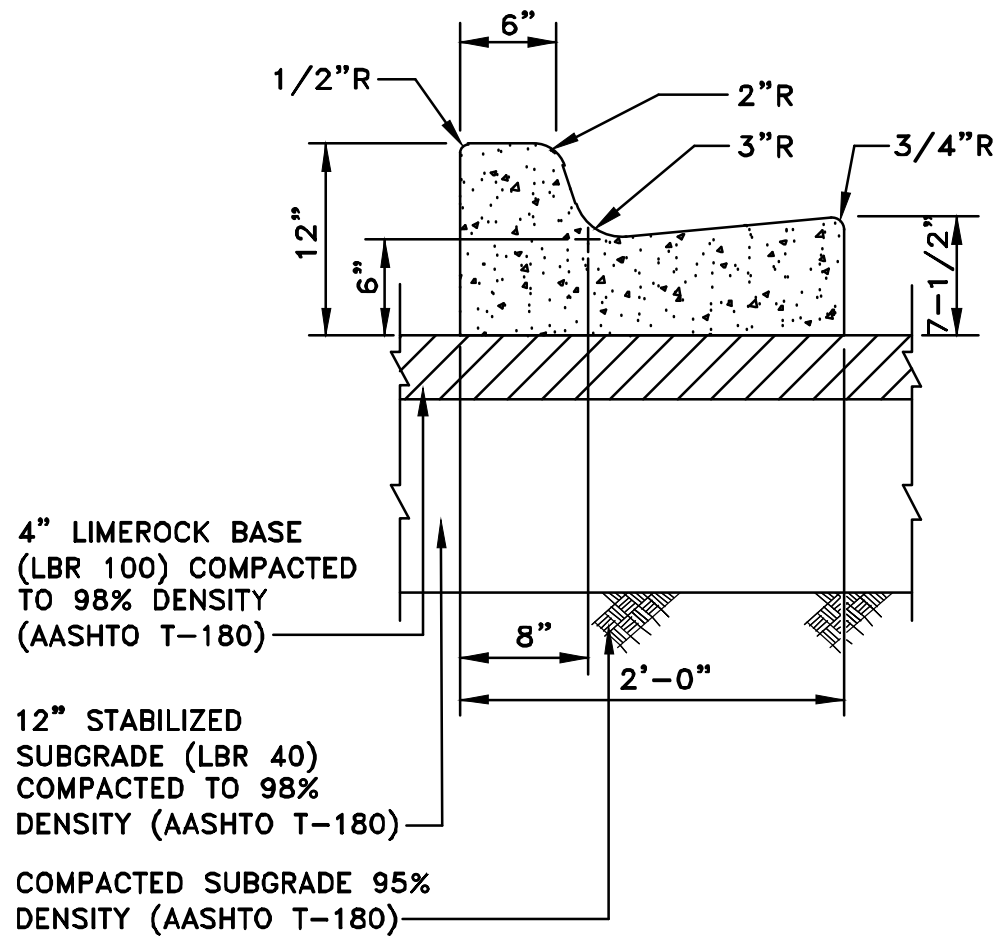
6" CONC. CURB DETAIL

SCALE: 1" = 1'-0"



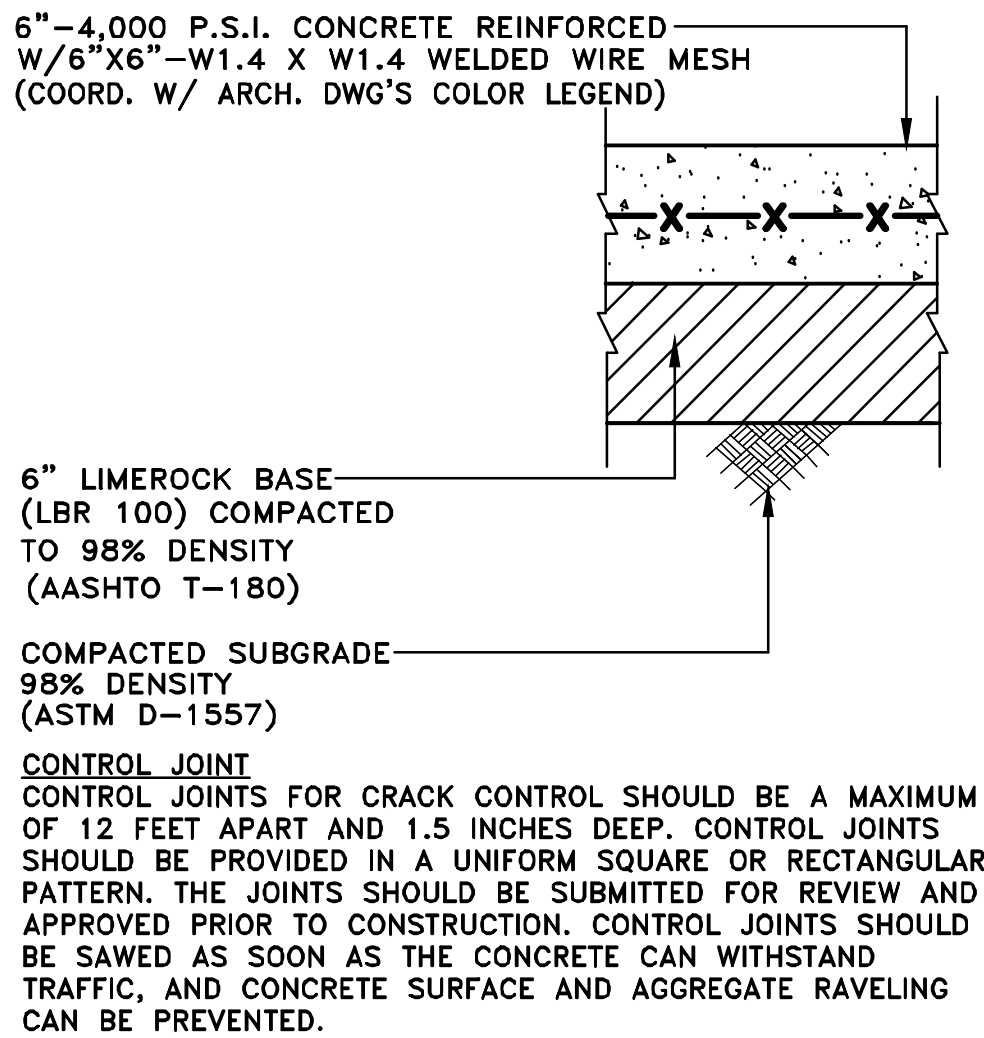
DRIVEWAY CURB DETAIL

SCALE: 1" = 1'-0"



CURB AND GUTTER DETAIL

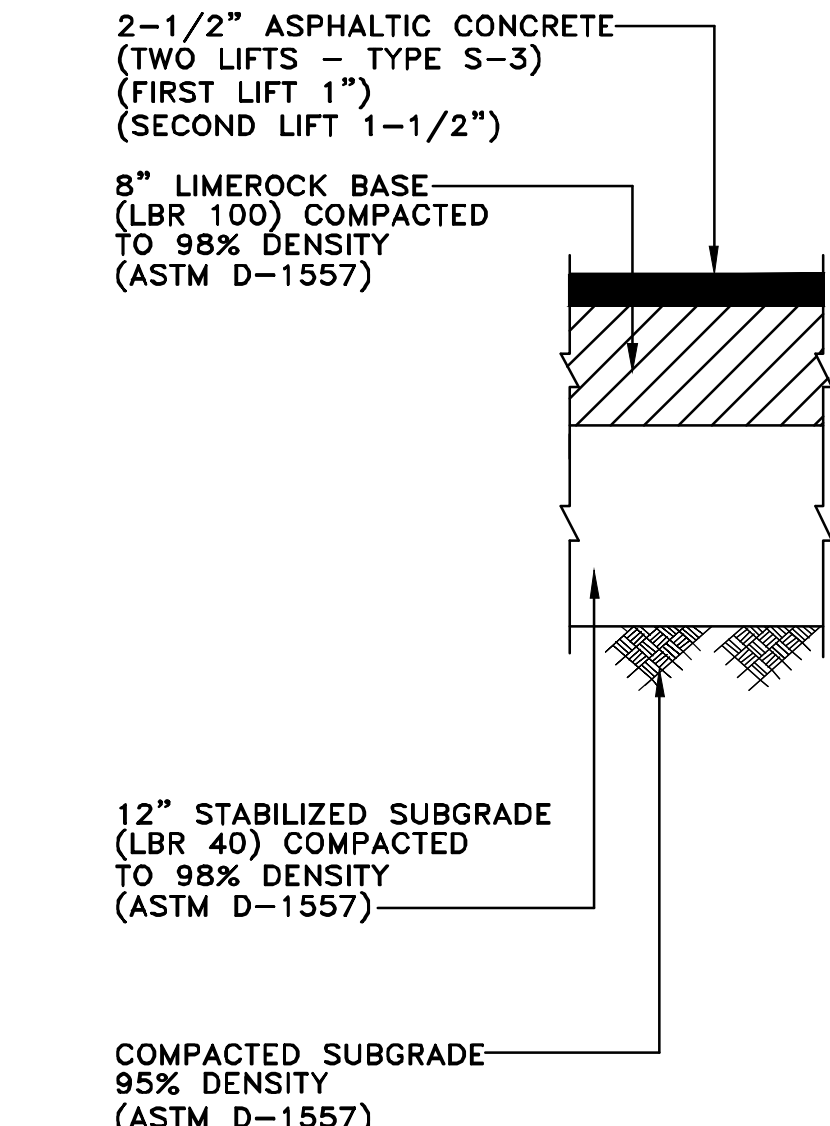
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CONCRETE PAVEMENT SECTION

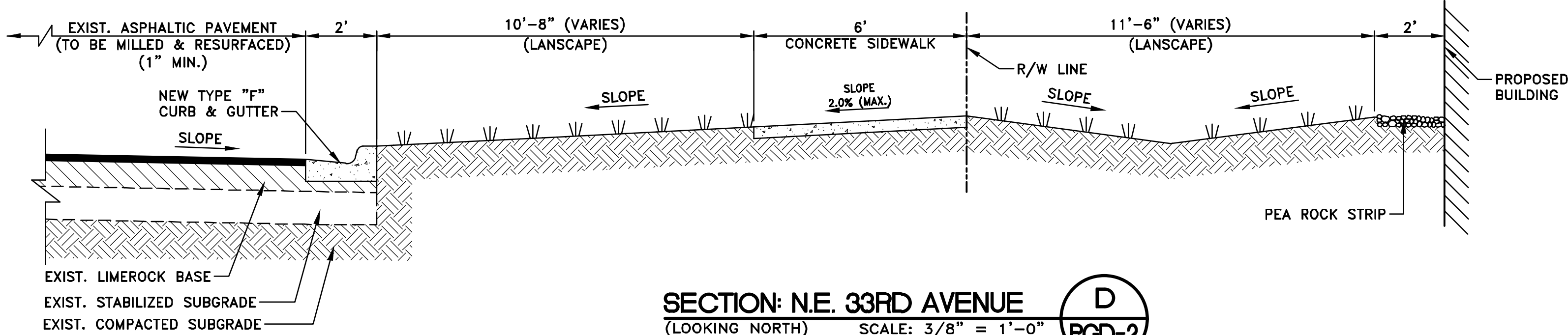
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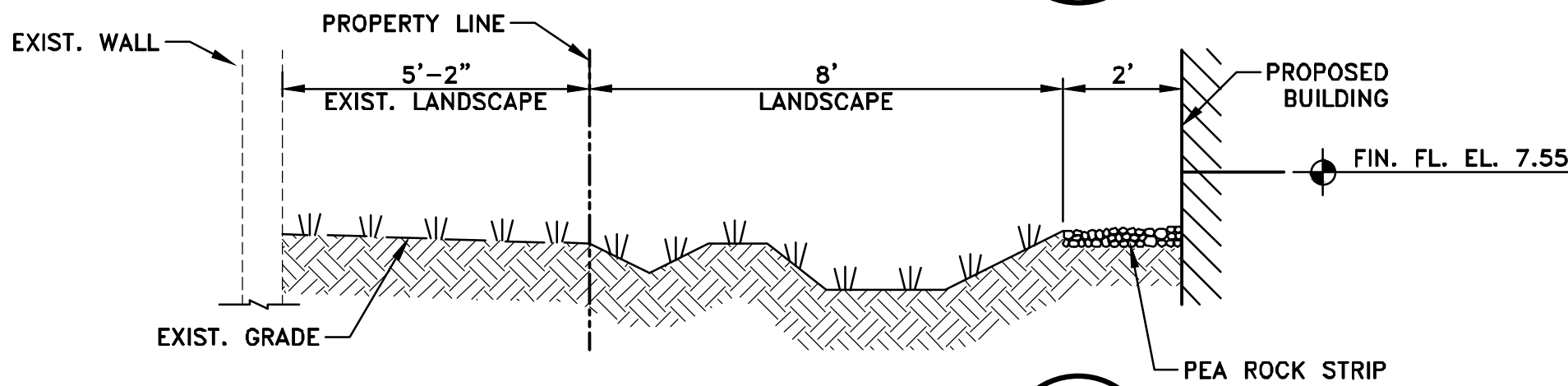
ASPHALTIC PAVEMENT SECTION

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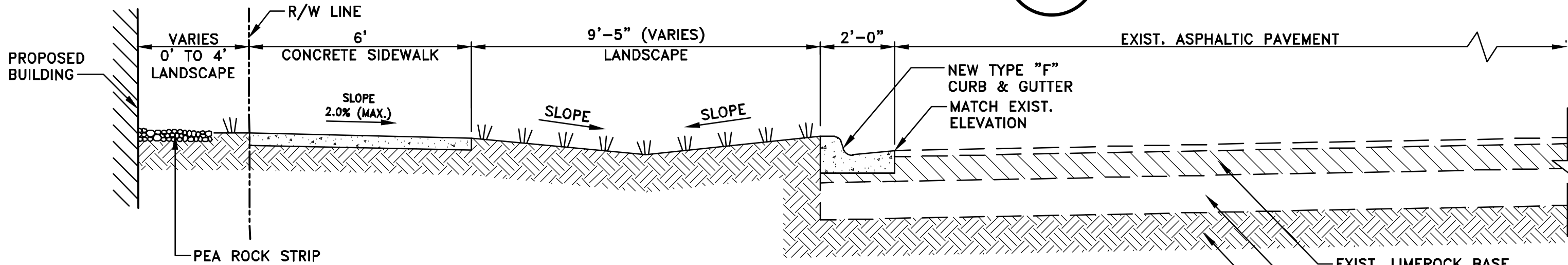
SECTION: N.E. 33RD AVENUE

(LOOKING NORTH) SCALE: 3/8" = 1'-0"



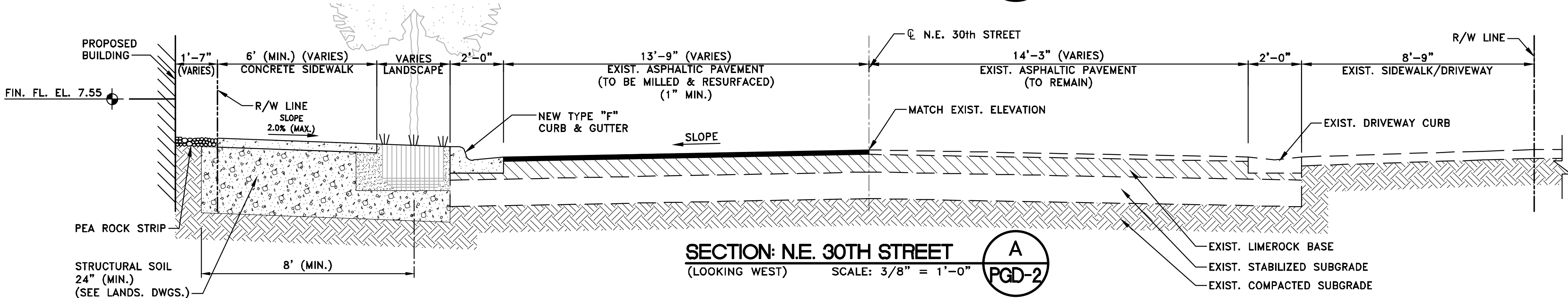
SECTION: REAR BUFFER

(LOOKING WEST) SCALE: 3/8" = 1'-0"



SECTION: S.R. A-1-A (PARTIAL)

(LOOKING NORTH) SCALE: 3/8" = 1'-0"



SECTION: N.E. 30TH STREET

(LOOKING WEST) SCALE: 3/8" = 1'-0"



Consulting Engineering & Science

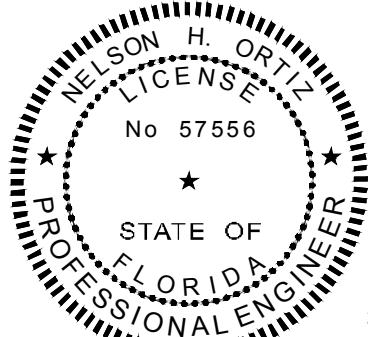
a GRAEF company

9400 South Dadeland Boulevard  
Suite 601  
Miami, FL 33156  
305 / 378 5555  
305 / 279 4553 fax

www.cesmiami.com

www.graef-usa.com

CA-4270



FOR THE FIRM:  
NELSON H. ORTIZ  
P.E. 57556 (CIVIL)

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FT. LAUDERDALE BEACH, FLORIDA 33308

MR. RANDY J. HOLIHAN  
BRANDON STRUCTURES  
200 Pasadena Place  
Orlando, Florida 32803  
(407) 835-9900; Fax (407) 835-9955

ISSUE:

NO. DATE REVISIONS BY  
03/06/20 ADDRESS COMMENTS

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DATE: 07-10-19

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APPROVED BY: N.H.O.

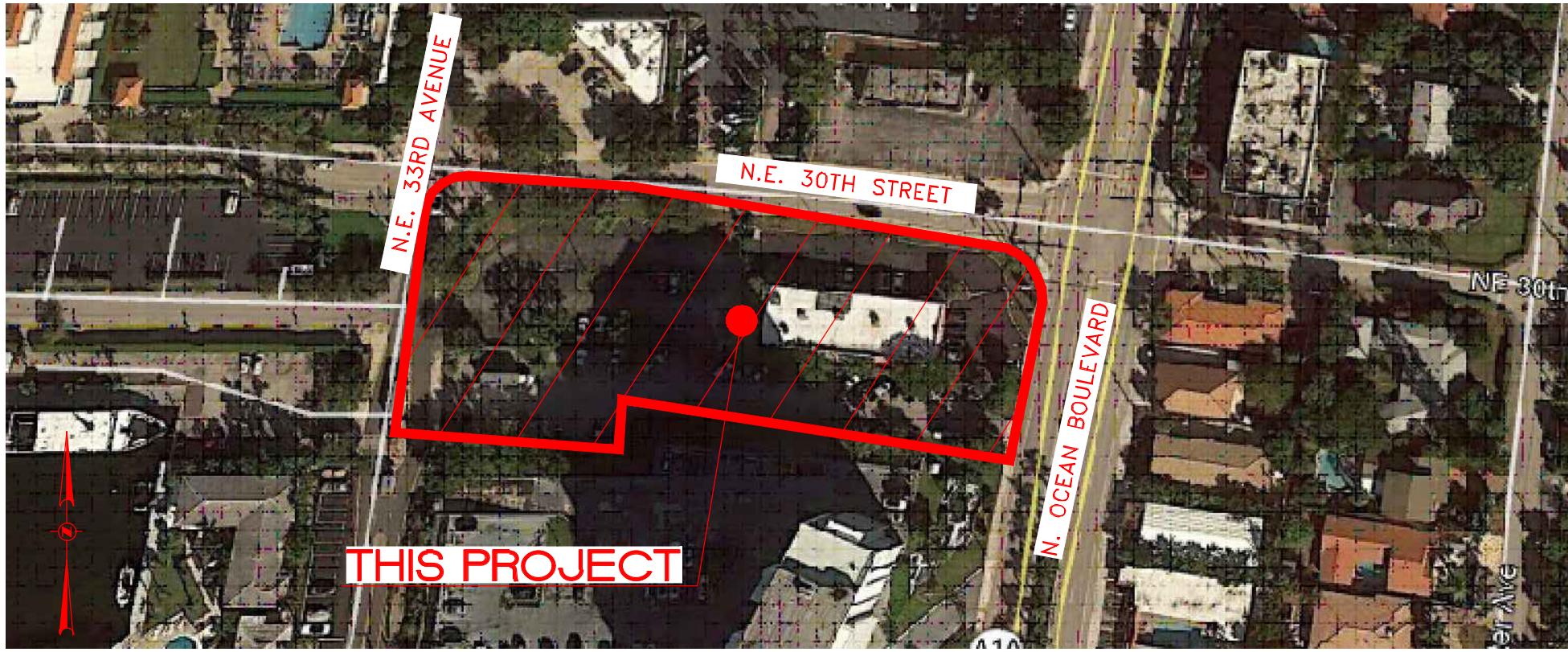
SCALE: AS SHOWN

SHEET TITLE:

SITE DETAILS

SHEET NUMBER:

PGD-2



**AERIAL IMAGE**  
N.T.S.



**BACK VIEW OF SITE NEXT TO EXISTING RESIDENCE BUILDING**



**N.E. 30TH STREET LOOKING SOUTH**



**FRONT OF SITE N.E. 30TH AVENUE BY PROPOSED LOADING RAMP**



**N.E. 33RD AVENUE LOOKING EAST**



**OCEAN BOULEVARD LOOKING WEST**



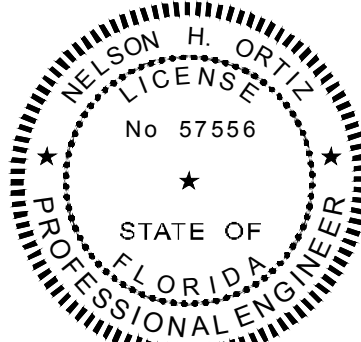
Consulting Engineering & Science

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9400 South Dadeland Boulevard  
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Miami, FL 33156  
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P.E. 57556 (CIVIL)

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200 Pasadena Place  
Orlando, Florida 32803  
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PROJECT INFORMATION:

PROJECT NUMBER: 20197040

DATE: 07-10-19

DRAWN BY: P.F.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

SCALE: AS SHOWN

SHEET TITLE:

SITE PLAN AND NOTES

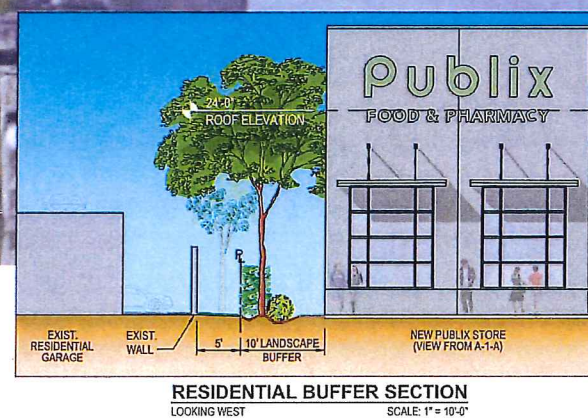
SHEET NUMBER:

**PHOTOS**



# LANDSCAPE LEGEND

- RELOCATED STREET TREE  
N.E. 30TH ST./N.E. 33RD AVE.  
(LIVE OAK)
- PROPOSED SHADE TREE  
REAR BUFFER  
(GUMBO LIMBO)
- PROPOSED SHADE TREE  
REAR BUFFER  
(GREEN BUTTWOOD)
- PROPOSED PALM  
IN ROW DEDICATION  
(COCONUT PALM)
- RELOCATED PALM  
ON-SITE  
(SABAL PALM)
- SMALL FLOWERING TREE  
ON-SITE  
(LIGNUM VITAE)
- MEDIUM SHRUB  
REAR BUFFER  
(CLUSIA)
- LOW SHRUB  
ON-SITE/ROW  
(COONTIE)
- LOW SHRUB  
IN ROW  
(GREEN ISLAND)
- LOW SHRUB  
ON-SITE  
(SILVER BUTTWOOD)
- LOW SHRUB  
ON-SITE  
(ARBORICOLA TRINETTE)
- GROUND COVER  
(GOLDEN BEACH CREEPER)
- SOD  
ON-SITE
- PEA ROCK  
ON-SITE
- STAMPED CONCRETE  
WALKWAY



RESIDENTIAL BUFFER SECTION  
LOOKING WEST  
SCALE: 1" = 10'-0"

FT. LAUDERDALE BEACH PUBLIX

FT. LAUDERDALE BEACH, FL

L-1 LANDSCAPE PLAN  
DESIGN DEVELOPMENT

3/4/20



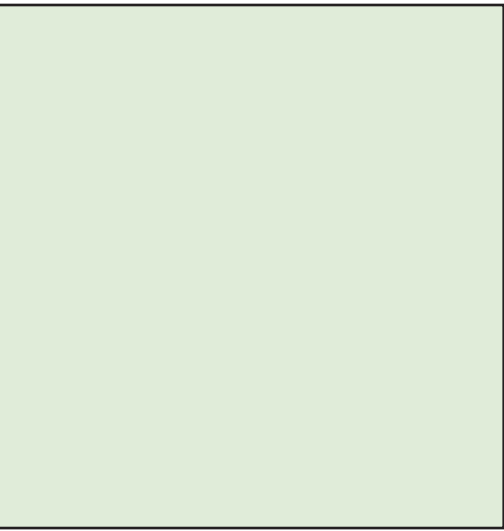
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N.E. 30TH STREET ELEVATION



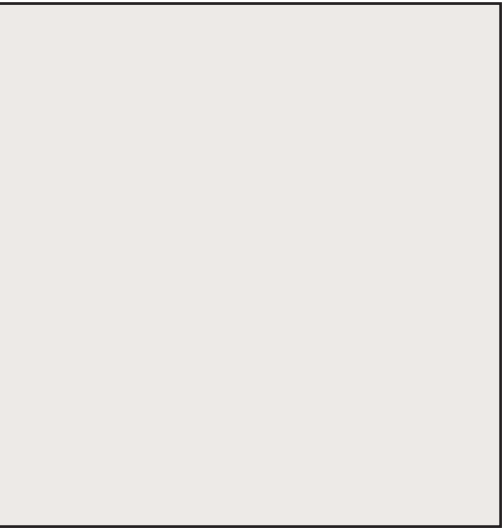
STATE ROAD A-1-A ELEVATION



**PAINT**  
SW 6735  
MINTED



**PAINT**  
SW 7059  
UNUSUAL  
GRAY



**PAINT**  
SW 7004  
SNOWBOUND



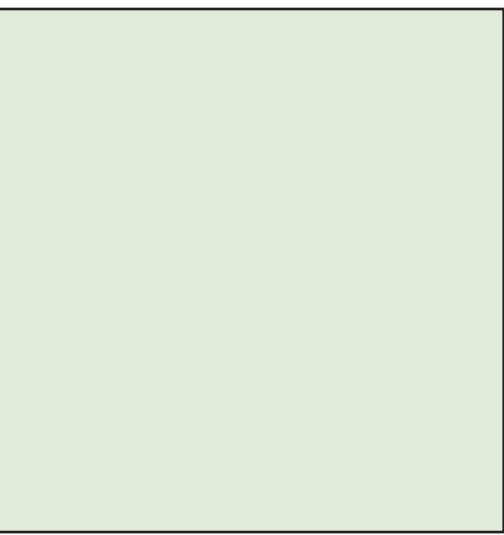
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FOREST GREEN



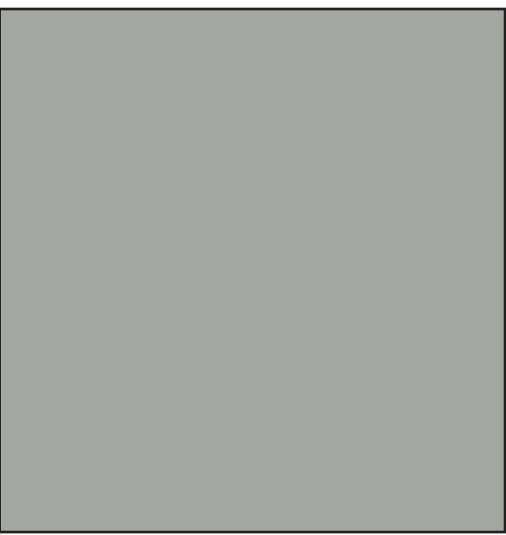
SOUTH ELEVATION



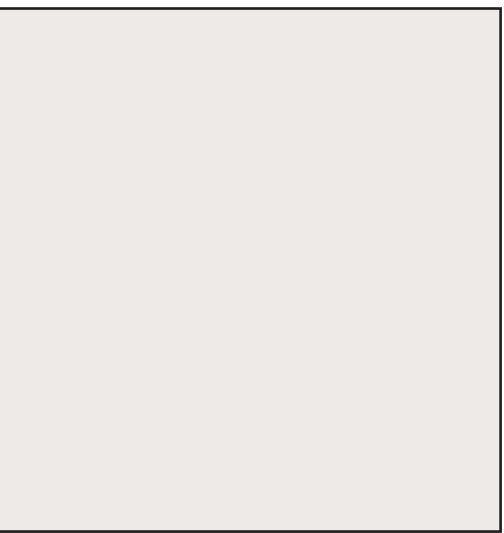
33RD AVENUE ELEVATION



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MINTED



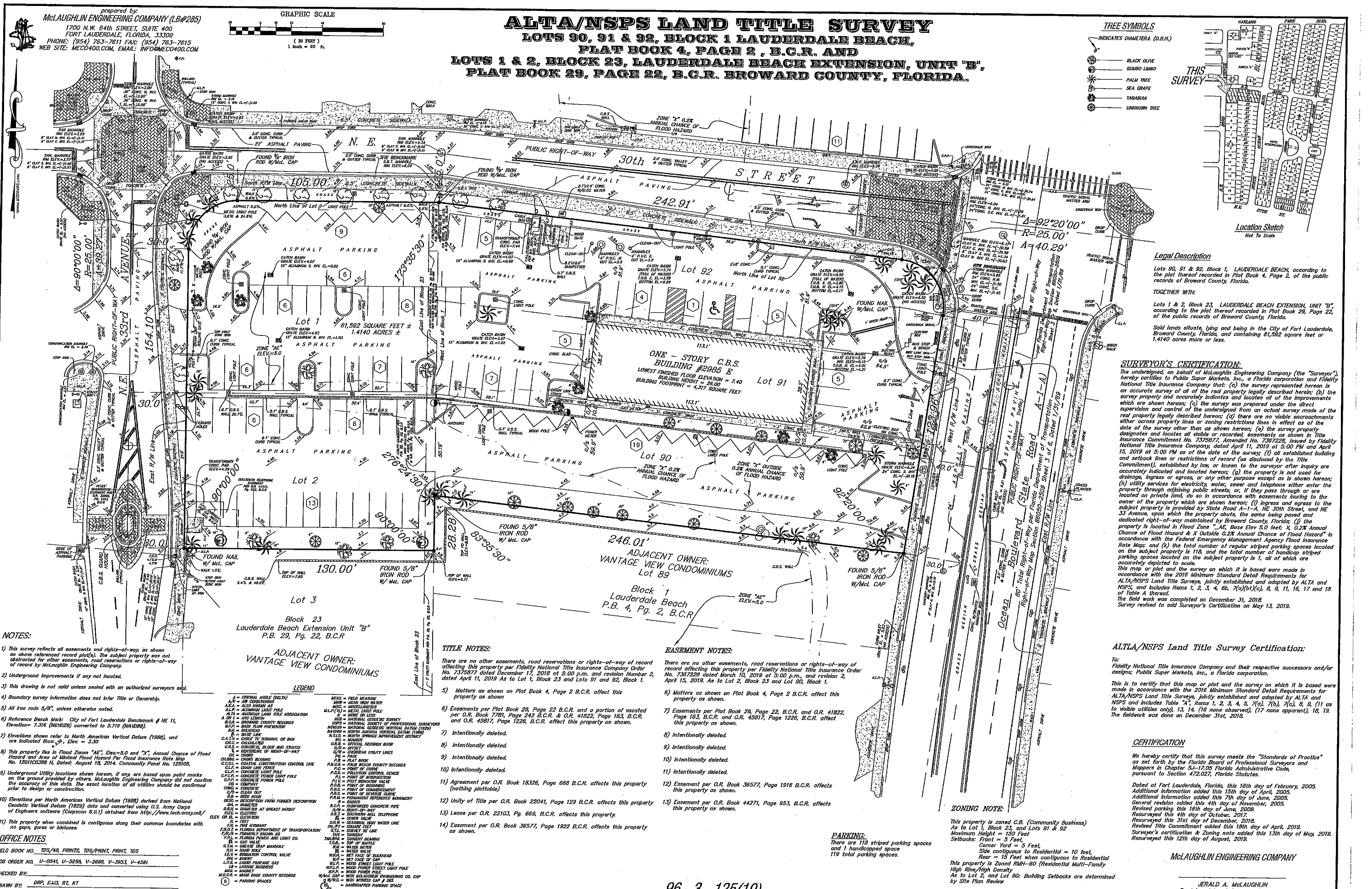
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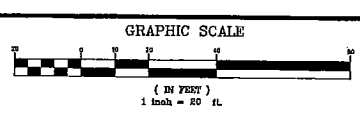
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SNOWBOUND



**METAL**  
PAC CLAD  
FOREST GREEN



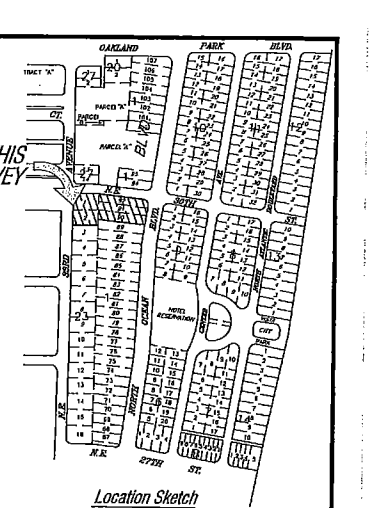
prepared by:  
**McLAUGHLIN ENGINEERING COMPANY (L.B.#285)**  
1700 N.W. 64th STREET, SUITE 400  
FORT LAUDERDALE, FLORIDA, 33309  
PHONE: (954) 763-7611 FAX: (954) 763-7615  
WEB SITE: MECO400.COM, EMAIL: INFO@MECO400.COM



# ALTA/NSPS LAND TITLE SURVEY

## LOTS 90, 91 & 92, BLOCK 1 LAUDERDALE BEACH, PLAT BOOK 4, PAGE 2, B.C.R. AND LOTS 1 & 2, BLOCK 23, LAUDERDALE BEACH EXTENSION, UNIT "B", PLAT BOOK 29, PAGE 22, B.C.R. BROWARD COUNTY, FLORIDA.

- TREE SYMBOLS**
- INDICATES DIAMETER (D.B.H.)
  - BLACK OLIVE
  - GUARD LILAC
  - PALM TREE
  - SEA GRAPE
  - TABARUA
  - UNKNOWN TREE



**Legal Description**

Lots 90, 91 & 92, Block 1, LAUDERDALE BEACH, according to the plat thereof recorded in Plat Book 4, Page 2, of the public records of Broward County, Florida.

TOGETHER WITH:

Lots 1 & 2, Block 23, LAUDERDALE BEACH EXTENSION, UNIT "B", according to the plat thereof recorded in Plat Book 29, Page 22, of the public records of Broward County, Florida.

Said lands situate, lying and being in the City of Fort Lauderdale, Broward County, Florida, and containing 61,592 square feet or 1.4140 acres more or less.

**SURVEYOR'S CERTIFICATION:**

The undersigned, on behalf of McLaughlin Engineering Company (the "Surveyor"), hereby certifies to Public Super Markets, Inc., a Florida corporation and Fidelity National Title Insurance Company that: (a) the survey represented herein is an accurate survey of all of the real property legally described herein; (b) the survey properly and accurately indicates and locates all of the improvements which are shown herein; (c) the survey was prepared under the direct supervision and control of the undersigned from an actual survey made of the real property legally described herein; (d) there are no visible encroachments shown across property lines or zoning restrictions in effect as of the date of the survey other than as shown herein; (e) the survey properly designates and locates all visible or recorded easements as shown in Title Insurance Commitment No. 7375877, Amended No. 7367228, issued by Fidelity National Title Insurance Company, dated April 11, 2019 at 5:00 PM and April 15, 2019 at 5:00 PM as of the date of the survey; (f) all established building and setback lines or restrictions of record (as disclosed by the Title Commitment), established by law, or known to the surveyor after inquiry are accurately indicated and located herein; (g) the property is not used for drainage, ingress or egress, or any other purpose except as is shown herein; (h) utility services for electricity, water, sewer and telephone either enter the property through adjoining public streets, or, if they pass through or are located on private land, do so in accordance with easements to the owner of the property which are shown herein; (i) ingress and egress to the subject property is provided by State Road A-1-A, NE 30th Street, and NE 33rd Avenue, upon which the property abuts, the same being paved and dedicated right-of-way maintained by Broward County, Florida; (j) the dedicated right-of-way maintained by Broward County, Florida, of the property is located in Flood Zone "AE, Base Elevation 5.0 feet, X, 0.2% Annual Chance of Flood Hazard & X Outside 0.2% Annual Chance of Flood Hazard" in accordance with the Federal Emergency Management Agency Flood Insurance Rate Map; and (k) the total number of regular striped parking spaces located on the subject property is 118, and the total number of handicap striped parking spaces located on the subject property is 1, all of which are accurately depicted to scale.

This map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6b, 7(a)(1)(c), 8, 9, 11, 16, 17 and 18 of Table A thereof.

The field work was completed on December 31, 2018.

Survey revised to add Surveyor's Certification on May 13, 2019.

- NOTES:**
- This survey reflects all easements and rights-of-way as shown on above referenced record plat(s). The subject property was not obstructed for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
  - Underground improvements if any not located.
  - This drawing is not valid unless sealed with an authorized surveyor's seal.
  - Boundary survey information does not infer Title or Ownership.
  - All iron rods 5/8", unless otherwise noted.
  - Reference Bench Mark: City of Fort Lauderdale Benchmark # NE 11, Elevation = 7.316 (NGVD29) converted to 5.716 (NAVD83).
  - Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: Elev. = 5.32.
  - This property lies in Flood Zones "AE", Elev. = 5.0 and "X", Annual Chance of Flood Hazard and Area of Minimal Flood Hazard Per Flood Insurance Rate Map No. 12011C0326 H, Dated: August 18, 2014, Community Panel No. 125105.
  - Underground Utility locations shown herein, if any, are based upon point marks on the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.
  - Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Geopack 6.0.1) obtained from <http://www.tech.army.mil/>.
  - This property when combined is contiguous along their common boundaries with no gaps, gaps or hiatuses.
- OFFICE NOTES**
- FIELD BOOK NO. 105/48, PRINTS, TDS/PRINT, PRINT, TDS
- JOB ORDER NO. U-0541, U-5258, V-2688, V-3953, V-4581
- CHECKED BY: DRP, ELLS, RT, KY
- DRAWN BY: DRP, ELLS, RT, KY

- LEGEND**
- A = CENTRAL ANGLE (DELTA)
  - A/C = AIR CONDITIONING
  - A/D = ALSO KNOWN AS
  - ALA = ALABAMA LAND TITLE ASSOCIATION
  - A/L = ALSO KNOWN AS
  - B/C = BROWARD COUNTY RECORDS
  - B/C-1 = BACK FLOW PREVENTER
  - B/L = BASE LINE
  - C = CALCULATED
  - C/B = CHAIN LINK FENCE OR BOX
  - C/C = CONCRETE, BLOCK AND STRIP
  - C/L = COORDINATE OF RIGHT-OF-WAY
  - C/O = CHORD
  - C/R = CHORD BEARING
  - C/S = COASTAL CONSTRUCTION CONTROL LINE
  - C/LP = CHAIN LINK FENCE
  - C/LP-1 = CONCRETE LIGHT POLE
  - C/LP-2 = CONCRETE POWER LIGHT POLE
  - C/C-1 = CONCRETE
  - C/C-2 = CHAIN LINK
  - C/C-3 = CHAIN LINK
  - C/C-4 = CHAIN LINK
  - C/C-5 = CHAIN LINK
  - C/C-6 = CHAIN LINK
  - C/C-7 = CHAIN LINK
  - C/C-8 = CHAIN LINK
  - C/C-9 = CHAIN LINK
  - C/C-10 = CHAIN LINK
  - C/C-11 = CHAIN LINK
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  - C/C-95 = CHAIN LINK
  - C/C-96 = CHAIN LINK
  - C/C-97 = CHAIN LINK
  - C/C-98 = CHAIN LINK
  - C/C-99 = CHAIN LINK
  - C/C-100 = CHAIN LINK

- TITLE NOTES:**
- There are no other easements, road reservations or rights-of-way of record affecting this property per Fidelity National Title Insurance Company Order No. 7375877 dated December 17, 2010 at 5:00 p.m. and revision Number 2, dated April 11, 2019 As to Lot 1, Block 23 and Lots 91 and 92, Block 1.
- Matters as shown on Plat Book 4, Page 2 B.C.R. affect this property as shown.
  - Easements per Plat Book 29, Page 22 B.C.R. and a portion of vacated per O.R. Book 7781, Page 242 B.C.R. & O.R. 41822, Page 163, B.C.R. and O.R. 45817, Page 1226, B.C.R. affect this property as shown.
  - Intentionally deleted.
  - Intentionally deleted.
  - Intentionally deleted.
  - Intentionally deleted.
  - Agreement per O.R. Book 18326, Page 688 B.C.R. affects this property (nothing plottable).
  - Unity of Title per O.R. Book 22041, Page 129 B.C.R. affects this property.
  - Lease per O.R. 22103, Pg. 669, B.C.R. affects this property.
  - Easement per O.R. Book 38577, Page 1922 B.C.R. affects this property as shown.

- EASEMENT NOTES:**
- There are no other easements, road reservations or rights-of-way of record affecting this property per Fidelity National Title Insurance Company Order No. 7367228 dated March 10, 2019 at 3:00 p.m. and revision 2, April 15, 2019. As to Lot 2, Block 23 and Lot 90, Block 1.
- Matters as shown on Plat Book 4, Page 2 B.C.R. affect this property as shown.
  - Easements per Plat Book 29, Page 22, B.C.R. and O.R. 41822, Page 163, B.C.R. and O.R. 45817, Page 1226, B.C.R. affect this property as shown.
  - Intentionally deleted.
  - Intentionally deleted.
  - Intentionally deleted.
  - Intentionally deleted.
  - Easement per O.R. Book 36577, Page 1916 B.C.R. affects this property as shown.
  - Easement per O.R. Book 44271, Page 953, B.C.R. affects this property as shown.

**PARKING:**

There are 118 striped parking spaces and 1 handicapped space 119 total parking spaces.

**ZONING NOTE:**

This property is zoned C.B. (Community Business) As to Lot 1, Block 23, and Lots 91 & 92. Maximum Height = 130 Feet. Setbacks: Front = 5 Feet, Corner Yard = 5 Feet, Side contiguous to Residential = 10 feet, Rear = 15 Feet When contiguous to Residential. This property is Zoned RMH-60 (Residential Multi-Family High Rise/High Density) As to Lot 2, and Lot 90: Building Setbacks are determined by Site Plan Review.

**ALTA/NSPS Land Title Survey Certification:**

To: Fidelity National Title Insurance Company and their respective successors and/or assigns; Public Super Markets, Inc., a Florida corporation.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Table "A", items 1, 2, 3, 4, 5, 7(a), 7(b), 7(c), 8, 9, 11 as to visible utilities only, 13, 14, (16 none observed), (17 none apparent), 18, 19. The fieldwork was done on December 31st, 2018.

**CERTIFICATION**

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 18th day of February, 2005. Additional information added this 15th day of April, 2005. Additional information added this 7th day of June, 2005. Resurveyed this 31st day of November, 2005. Revised parking this 16th day of June, 2008. Resurveyed this 4th day of October, 2017. Resurveyed this 31st day of December, 2018. Revised Title Commitment added this 18th day of April, 2019. Surveyor's certification & Zoning note added this 13th day of May, 2019. Resurveyed this 12th day of August, 2019.

**McLAUGHLIN ENGINEERING COMPANY**

JERALD A. McLAUGHLIN  
Registered Land Surveyor No. 5269  
State of Florida.